



MEMORANDUM

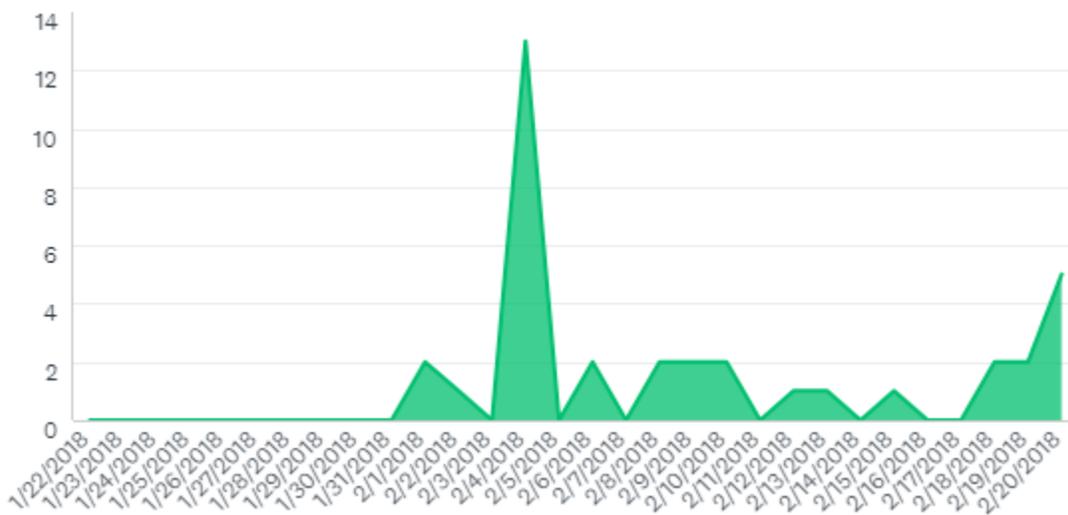
Summary Virtual Public Workshop #1 Dundee Riverside Zoning Code

DATE 2/21/18
TO Project Management Team
FROM Andrew Parish, AICP and Becky Hewitt, AICP
CC

INTRODUCTION

The purpose of this memorandum is to describe the results of the Virtual Public Workshop #1, conducted as part of the Dundee Riverside Zoning Project. The workshop took the form of an online survey that provided information and gathered public input on provisions of the proposed zoning code recommendations. The survey was open from February 1, 2018 through February 20, 2018. There were a total of 36 responses to the survey. Figure 1 below shows the number of responses by day during the period that the survey was open.

Figure 1. Responses to the Virtual Public Workshop by Date



The full text of the Virtual Public Workshop is provided in **Attachment A**.

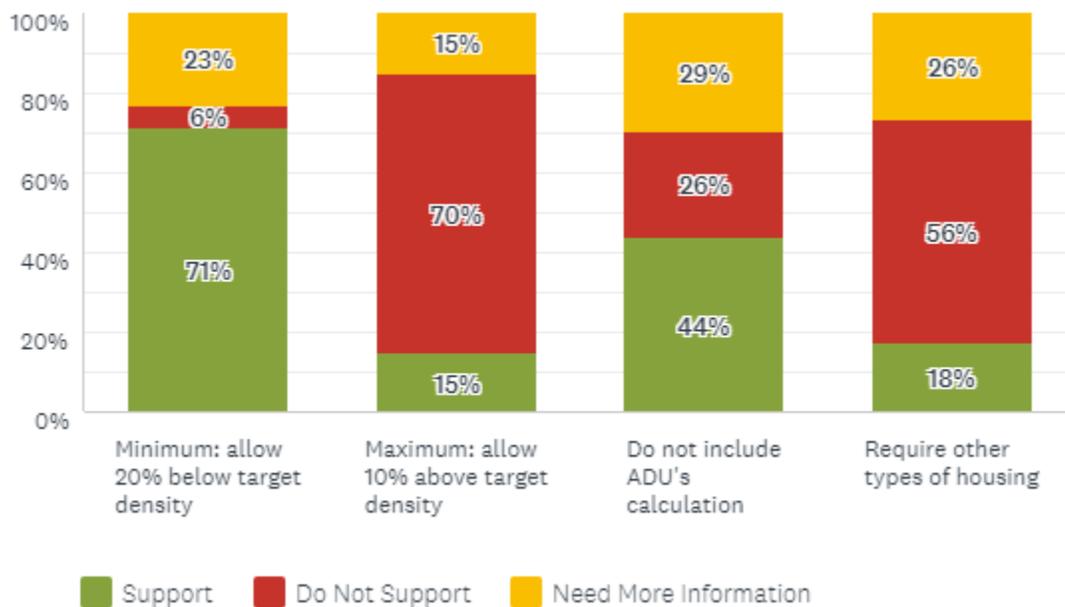
HOUSING TYPES AND RESIDENTIAL DESIGN

Question 1

The first question asked respondents about their support for four recommendations intended to encourage a mix of housing (single-family homes, duplexes, townhomes, and apartments or condos) so different kinds of households and people of various income levels can live in the Riverside District.

Respondents generally supported allowing development to occur as low as 20% below the target density, and equally unsupportive of allowing development to occur 10% above the target density. Respondents were split on the question of whether to include Accessory Dwelling Units (ADU's) in the density calculation, with just over half of respondents saying they either do not support the recommendation or need more information. Only 18% of respondents said they support requiring types of housing other than Single Family Residential in each subarea. Figure 2 details the responses to this question.

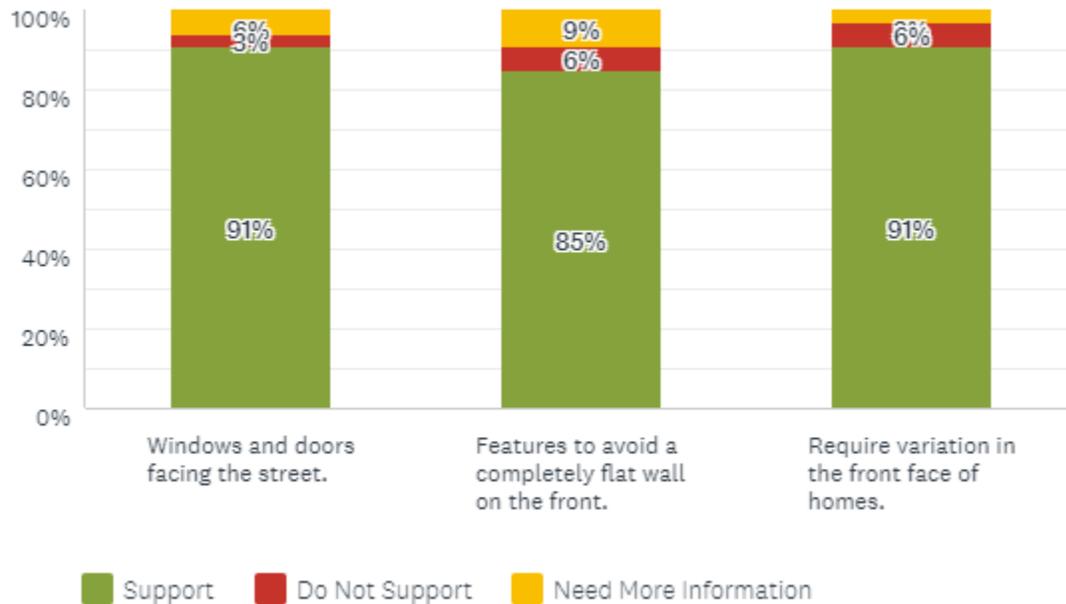
Figure 2. Responses to Question 1



Question 2

The second question asked respondents about residential design standards that are recommended for the Riverside Area. Respondents were very supportive of all of these design standards, as shown in Figure 3.

Figure 3. Responses to Question 2



COMMERCIAL/MIXED USE AREA A

Question 3

The third question asked respondents about a proposed list of uses recommended to be allowed in “Area A” of the Riverside District, which is envisioned to be a “village scale” neighborhood that includes a variety of retail, service, and office uses and allows mixed use development.

The following uses are recommended to be allowed in this area:

- Restaurants, bars, coffee shops, etc.
- Indoor retail sales (except marijuana)
- Banks, barbers, salons, medical/dental clinics and professional offices
- Art galleries & studios
- Small-scale winery, brewery or distillery with on-site sales
- Hotels, motels, B&Bs, vacation rentals
- Churches & community buildings
- Daycare, preschool, or grade school
- Apartments, condominiums, and assisted living facilities
- Live/work housing
- Parks

Respondents were asked to provide questions or comments on this list of recommended uses.

Responses included:

- Hard to envision this happening because the bypass will lower business interest in Dundee.
- General frustration with the bypass/other traffic.
- Scale and height limits.
- Too close to the highway for tourists/daycare/park
- What is “live/work” housing?
- Will new homes pay for development of a new grade school?
- A village look in shopping areas, lots of green space.

Question 4

The fourth question asked which additional uses should be allowed in Area A. Respondents were most supportive of a golf course, theaters/bowling alleys/concert venues, and nursing homes, and generally unsupportive or unsure about other uses. Figure 4 on the following page shows responses to Question 4.

COMMERCIAL/MIXED USE AREA D

Question 5

The fifth question asked respondents about a proposed list of uses recommended to be allowed in “Area D” of the Riverside District, which is envisioned as a destination with lodging, restaurants, and recreation uses.

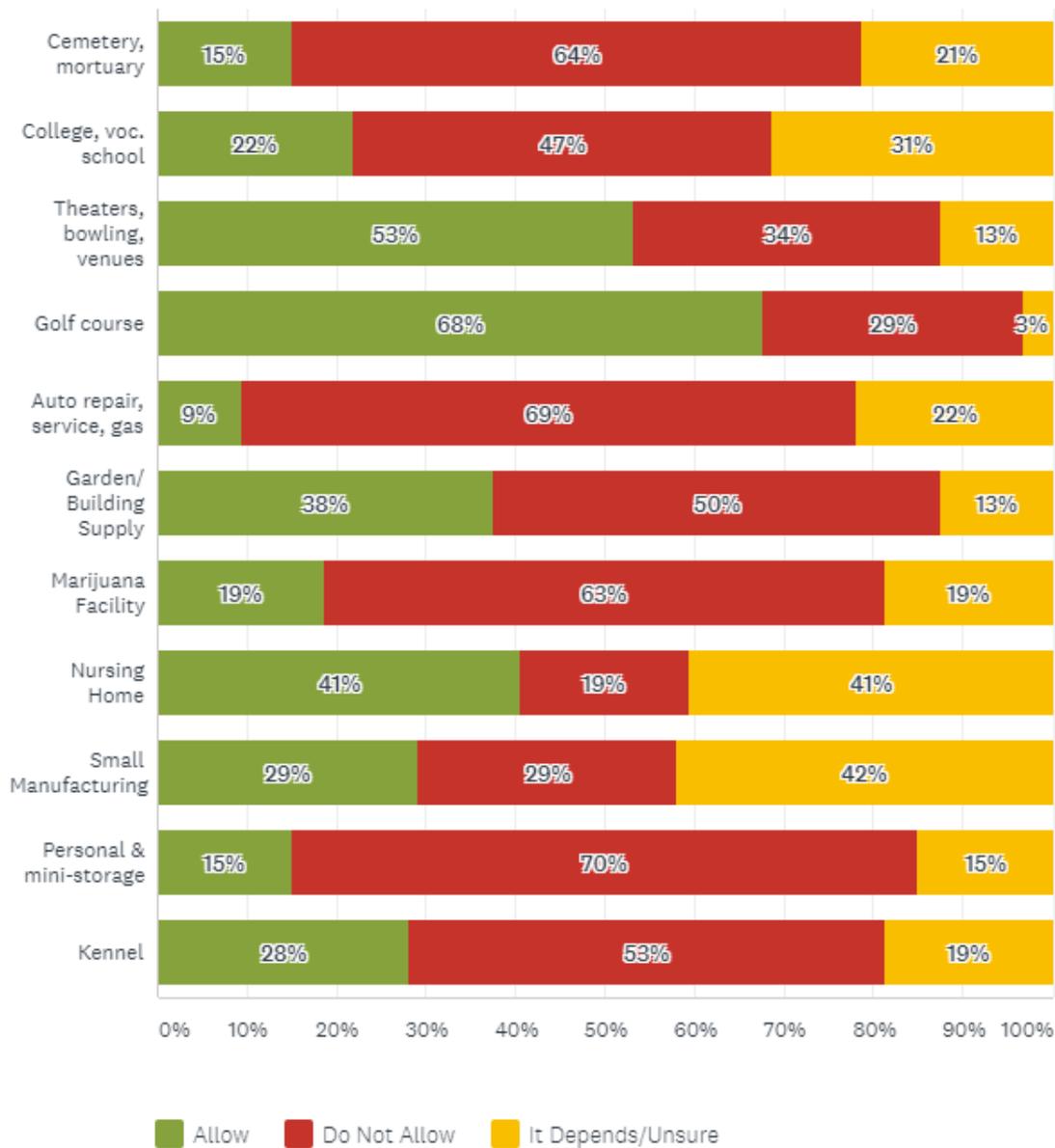
The following uses are recommended to be allowed in this area:

- Restaurants, bars, coffee shops, etc.
- Indoor retail sales (except marijuana)
- Banks, barbers, salons
- Art galleries & studios
- Theaters, bowling alleys, concert venues
- Golf course, driving range, miniature golf
- Small-scale winery, brewery or distillery with on-site sales
- Hotels, motels, B&Bs, vacation rentals
- Churches & community buildings
- Apartments, condominiums, and assisted living facilities
- Live/work housing
- Parks

Respondents were asked whether they have any questions or comments on this list. Responses included:

- Scale and height limits
- We don't need a golf course
- "Just don't!"
- The highway will make this area unattractive for tourists
- This will increase traffic on Parks Rd.
- Consider a more upscale hotel.

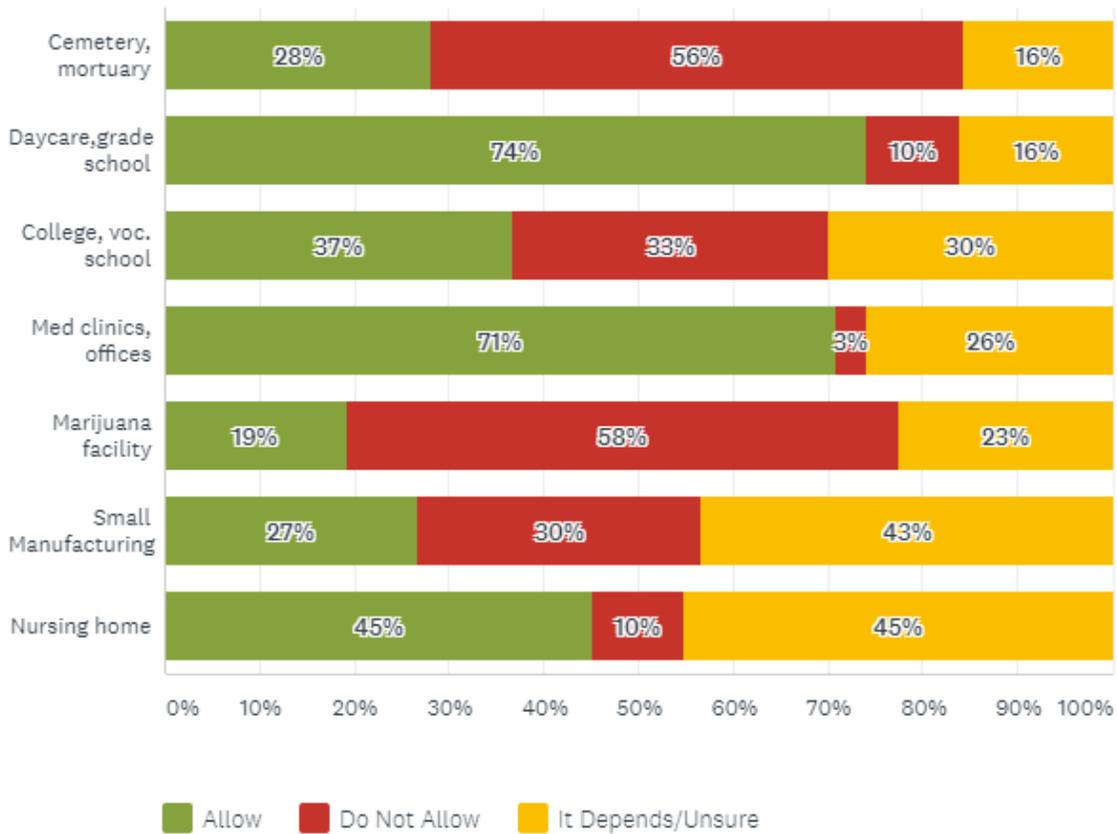
Figure 4. Responses to Question 4



Question 6

The next question asked which additional uses should be allowed in “Area D”. Schools, medical clinics and professional offices, and nursing homes were the most highly supported by respondents, as shown in Figure 5. Participants were mostly undecided about whether to allow small manufacturing uses or nursing homes.

Figure 5. Responses to Question 6



LIGHT INDUSTRIAL AREA B

Question 7

The seventh question asked respondents about a proposed list of uses recommended to be allowed in “Area B” of the Riverside District, which is envisioned as a place for food and beverage production and sales (including wine production with tasting facilities), indoor and outdoor event space, and eating/drinking facilities. The following uses are recommended to be allowed in this area:

- Beverage and bottling facility, winery, brewery, or distillery (other than retail small-scale winery, brewery or distillery)
- Retail Small-Scale winery, brewery or distillery (with on-site sales and <5,000 square feet of production space)
- Restaurants, bars, coffee shops, bakeries and butcher shops (with on-site sales)
- Small-scale manufacturing (<5,000 square feet of manufacturing space)
- Parks

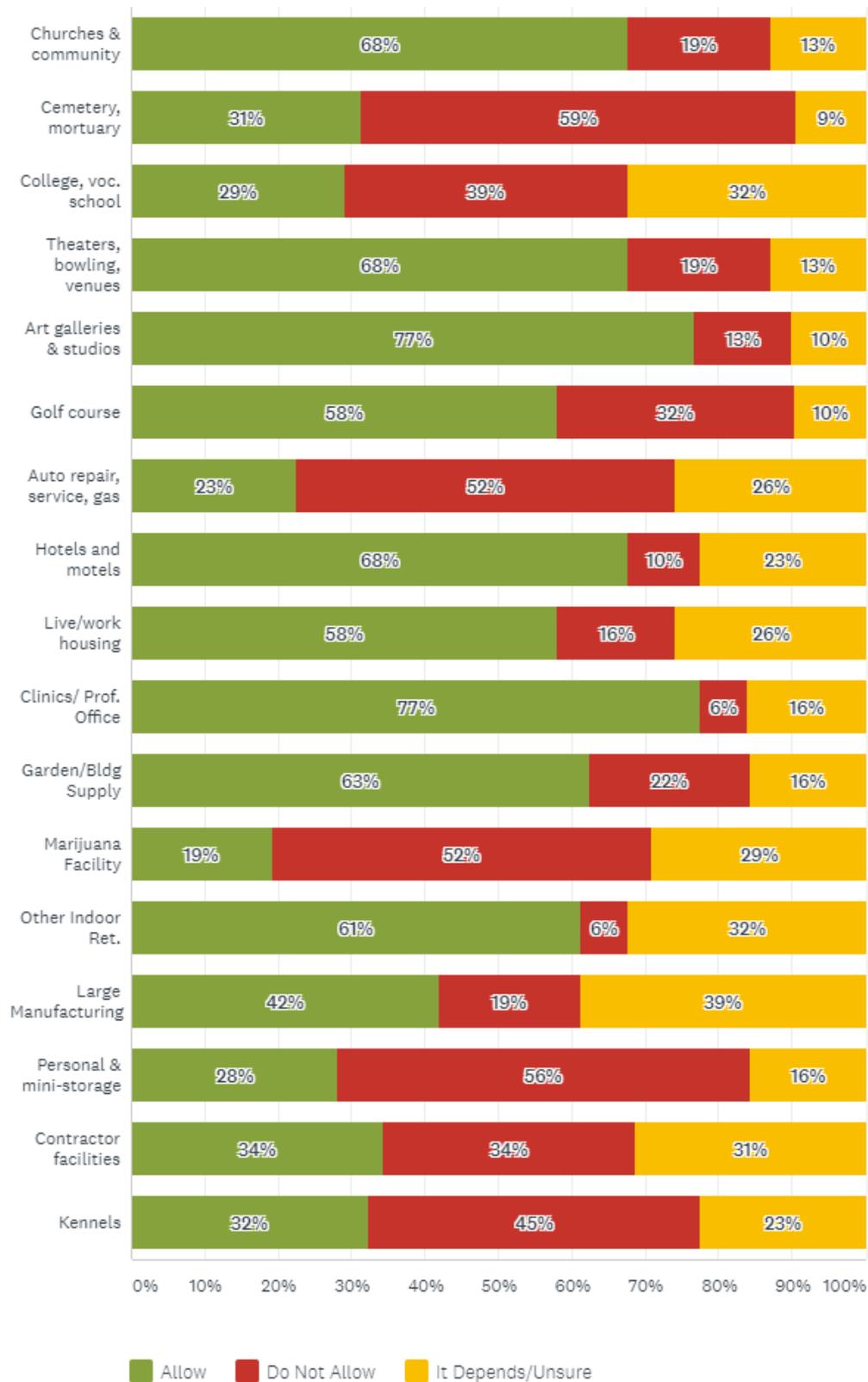
Respondents were asked whether they have any questions or comments on the recommended list of uses. Responses included:

- Design standards to limit heights, odors, and noise
- Parks would be too close to the highway in this area.
- “Just don’t”

Question 8

The eighth question asked which additional uses should be allowed in “Area B”. Many of the listed uses were generally supported, those that received the least support were cemeteries/mortuaries, colleges/vocational schools, auto repair/service and gas stations, marijuana facilities, and personal/mini storage facilities. Figure 6 shows responses to this question.

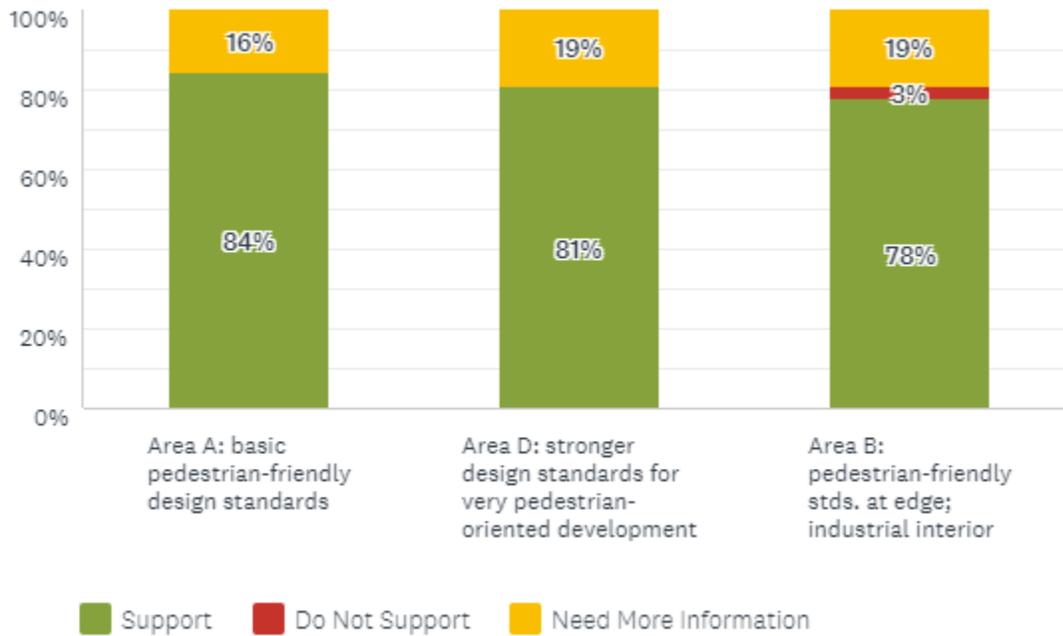
Figure 6. Responses to Question 8



Question 9

The final substantive question of this survey asked respondents to gauge support for non-residential design standards in each of the three areas discussed. These recommendations were generally supported, as shown in Figure 7

Figure 7. Responses to Question 9



Attachment A: Text of Virtual Public Workshop #1



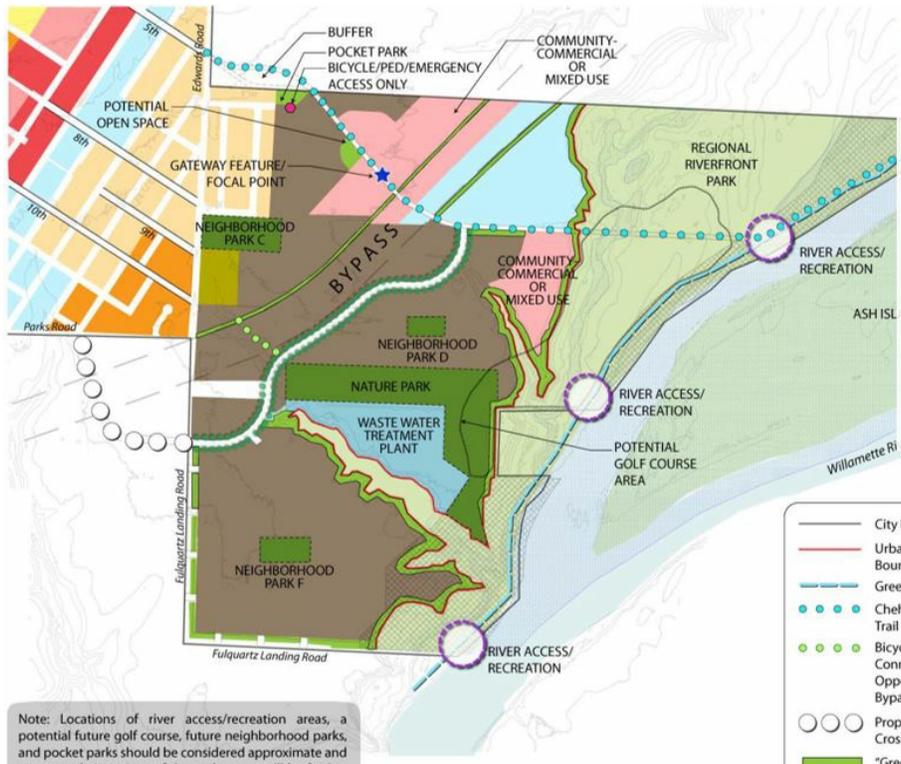
Dundee Riverside Zoning Code - Virtual Public Workshop #1

Introduction

The Riverside District Zoning Code Project is intended to develop zoning regulations to implement the Riverside District Master Plan. The Riverside District Master Plan envisions a mix of housing, businesses, tourism, recreation, neighborhood parks, open space and natural resource protection, and streets and trails in the future Riverside District. The City adopted the Riverside District Master Plan in 2011, but zoning was not adopted at that time due to water system limitations (now mostly resolved). More information about the Riverside District Master Plan and the current zoning code project is available from the [project webpage](#).

The Project team (including City staff and consultants from Angelo Planning Group) has drafted recommendations for zoning regulations for this area. **None of the proposed regulations will apply to existing neighborhoods or businesses.** A “Code Committee” of local stakeholders and City officials reviewed the Project Team’s recommendations and provided feedback. We are now seeking community input on the working recommendations (which reflect the input of the Code Committee). Your input will inform the draft regulations. The recommendations and questions are organized by those focused on Riverside residential areas and those focused on Riverside commercial and industrial areas.

2011 Riverside Master Plan



Vision...

- Housing
- Businesses
- Tourism
- Recreation
- Neighborhood parks
- Open space & natural resource protection
- Streets & trails
- Sustainable development

Note: Locations of river access/recreation areas, a potential future golf course, future neighborhood parks, and pocket parks should be considered approximate and conceptual. Locations of these elements will be further defined through subsequent development application processes.

- City Limits
- Urban Growth Boundary
- Greenway Trail
- Chehalum Heritage Trail
- Bicycle/pedestrian Connection Opportunity Under Bypass
- Proposed Bypass Crossing
- "Green Seam" (Trails and Stormwater)
- Parkway Street Trees

- R-1 Low Residential
- R-2 Medium Residential
- R-3 High Residential
- Riverside Residential (10 units/acre)
- C Community Commercial
- CBD Central Business District
- A Agriculture
- EFU Exclusive Farm Use
- LI Light Industrial
- P Public
- Parks
- Greenway Management Overlay Zone
- Flood Hazard Zone





Dundee Riverside Zoning Code - Virtual Public Workshop #1

Riverside Residential Housing Types and Density

The Riverside Plan encourages a mix of housing (single-family homes, duplexes, townhomes, and apartments or condos) at target densities so different kinds of households and people of various income levels can live in the Riverside District. In order to implement this vision, the working recommendation is to regulate the minimum and maximum housing density and set some requirement to include multiple housing types.

Single Family Homes



Duplexes and Townhomes



Multifamily Homes



Example images courtesy Houseplans.pro

1 Working Recommendations for Housing Targets and Housing Types are summarized below. Please indicate whether you support these recommendations.

	Support	Do Not Support	Need More Information
Minimum: allow development as low as 20% below the target density	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Maximum: allow development as much as 10% above the target density when higher density housing types (e.g. apartments, duplexes, townhomes, etc.) are included	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Do not include Accessory Dwelling Units (sometimes called “granny flats”) in the density calculation because homeowners will be allowed to add them later.*	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Require at least one type of housing other than standard single-family homes (e.g. duplexes, townhomes, apartments, etc.) in each subarea	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Additional Comments:

*The City of Dundee is required to allow Accessory Dwelling Units in areas zoned for detached single-family dwellings, per Oregon Senate Bill 1051, passed in 2017.



Dundee Riverside Zoning Code - Virtual Public Workshop #1

Residential Design Standards

Basic residential design standards may address entrance locations, windows, garages, etc. to encourage pedestrian-friendly neighborhoods and “eyes on the street” – the ability to see from the home out to the street, which has been shown to discourage crime. They typically do not regulate architectural style (any architectural style can meet the standards), but some require variety so that adjacent homes are not identical.

Design standards that focus on the pedestrian environment.



2

The working recommendation is to develop simple, clear and objective residential design standards with the following requirements. Please indicate whether you support these recommendations.

	Support	Do Not Support	Need More Information
Require windows and doors facing the street.	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Require features like gables, porches, or setbacks to avoid a completely flat wall on the front.	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Require variation in the front face of homes on a block so that houses are not identical to those next to them	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Additional Comments:



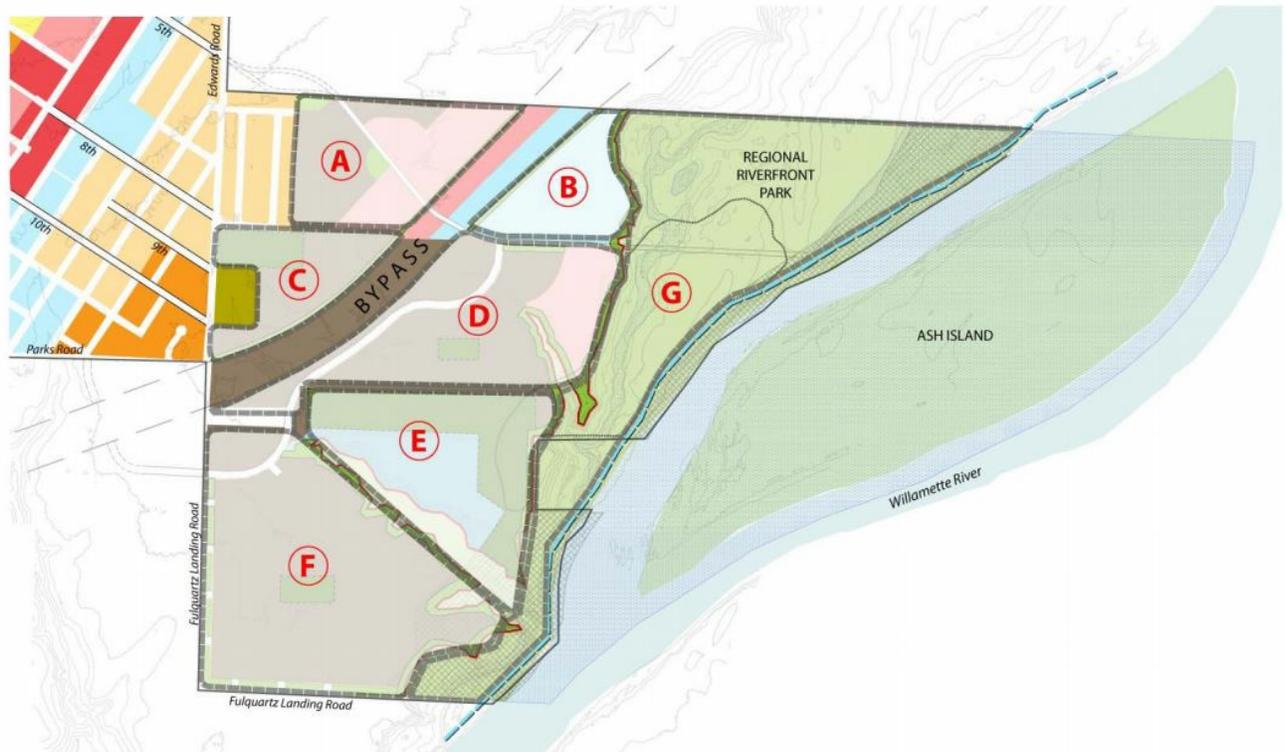
Dundee Riverside Zoning Code - Virtual Public Workshop #1

Riverside Commercial / Mixed Use and Industrial Areas

The Riverside District Master Plan includes three planned commercial and industrial areas. These are shown on the map below, and the vision for each from the plan is summarized below. Questions on the following pages will relate to these areas individually.

- **Commercial / Mixed Use in Area A:** smaller-scale neighborhood commercial uses, including a variety of retail, service and office uses (but not drive-through facilities) with a “village scale”. The vision also includes allowing mixed use development, with residential above or next to commercial uses.
- **Commercial / Mixed Use in Area D:** a destination with lodging, restaurants and recreation related uses, potentially including a golf course and club house, that would have synergy with tourist, open space and recreational uses.
- **Light Industrial in Area B:** intended for food and beverage production and sales (including wine production and tasting facilities), indoor and outdoor event space, and eating and drinking facilities, with synergy with tourist, open space and recreational uses due to its riverside location.

Subareas from the Riverside Master Plan





Dundee Riverside Zoning Code - Virtual Public Workshop #1

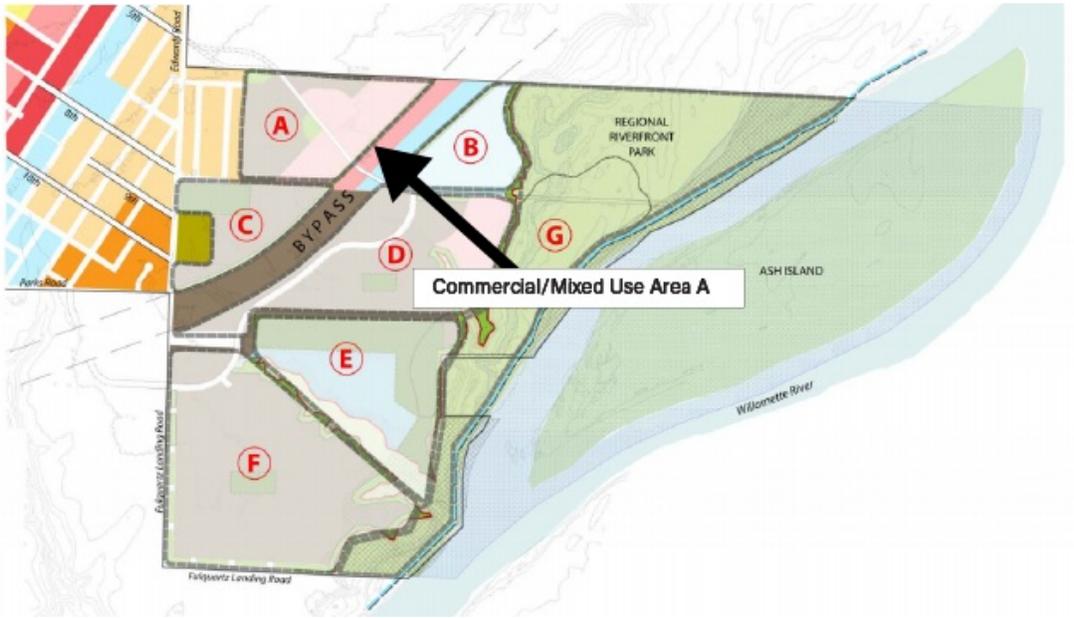
Uses in Commercial/Mixed Use Area A

The vision for the commercial / mixed use development in Area A includes smaller-scale neighborhood commercial uses, including a variety of retail, service and office uses (but not drive-through facilities) with a “village scale”. The vision also includes allowing mixed use development, with residential above or next to commercial uses.

The following uses are recommended to be allowed in this area:

- Restaurants, bars, coffee shops, etc.
- Indoor retail sales (except marijuana)
- Banks, barbers, salons, medical/dental clinics and professional offices
- Art galleries & studios
- Small-scale winery, brewery or distillery with on-site sales
- Hotels, motels, B&Bs, vacation rentals
- Churches & community buildings
- Daycare, preschool, or grade school
- Apartments, condominiums, and assisted living facilities
- Live/work housing
- Parks

Note – building size limitations are being considered that could be applied to certain uses or all uses in these areas.



3 Do you have any questions or comments on the recommended list of uses above?

4

Which of the following additional uses should be allowed in Commercial / Mixed Use Area A?

	Allow	Do Not Allow	It Depends/Unsure
Cemetery, mortuary	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
College, vocational school	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Theaters, bowling alleys, concert venues	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Golf course, driving range, miniature golf	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Auto repair, service, and gas stations*	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Garden supply, greenhouses, lumber yards, building / contracting supplies	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Marijuana dispensary or retail facility	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Nursing home (with skilled nursing care)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Small-Scale manufacturing (<5,000 sf)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Personal & mini-storage	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Kennel	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Additional Comments

* These businesses are unlikely to seek a location in this area due to indirect access to major roads.



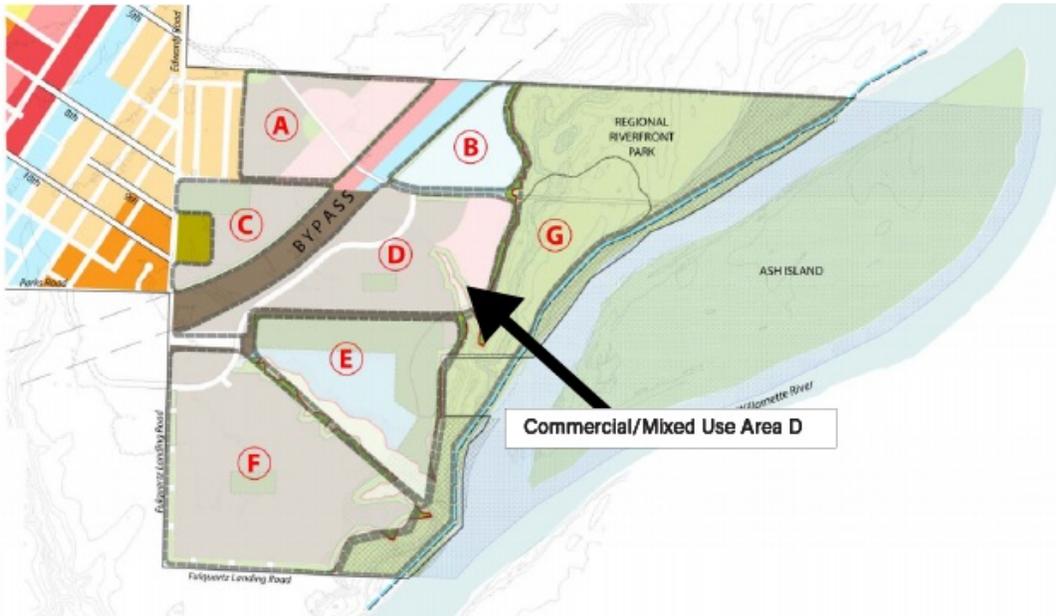
Dundee Riverside Zoning Code - Virtual Public Workshop #1

Commercial / Mixed Use – Area D

The vision the commercial / mixed use development in Area D is a destination with lodging, restaurants and recreation related uses, potentially including a golf course and club house, that would have synergy with tourist, open space and recreational uses.

The following uses are recommended to be allowed in this area:

- Restaurants, bars, coffee shops, etc.
- Indoor retail sales (except marijuana)
- Banks, barbers, salons
- Art galleries & studios
- Theaters, bowling alleys, concert venues
- Golf course, driving range, miniature golf
- Small-scale winery, brewery or distillery with on-site sales
- Hotels, motels, B&Bs, vacation rentals
- Churches & community buildings
- Apartments, condominiums, and assisted living facilities
- Live/work housing
- Parks



5 Do you have any questions or comments on the recommended list of uses above?

6 Which of the following additional uses should be allowed in Commercial / Mixed Use Area D?

	Allow	Do Not Allow	It Depends/Unsure
Cemetery, mortuary	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Daycare, preschool, or grade school	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
College, vocational school	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Medical/dental clinics and professional offices	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Marijuana dispensary or retail facility	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Small-scale manufacturing (<5,000 sf)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Nursing home (with skilled nursing care)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Additional Comments



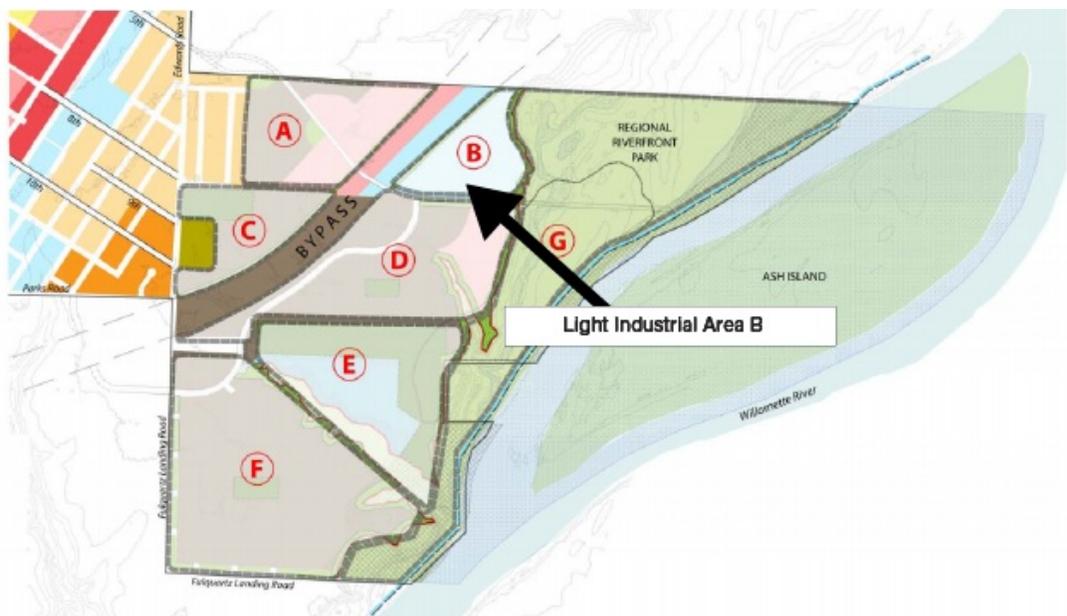
Dundee Riverside Zoning Code - Virtual Public Workshop #1

Light Industrial - Area B

Area B is envisioned as a place for food and beverage production and sales (including wine production and tasting facilities), indoor and outdoor event space, and eating and drinking facilities, with synergy with tourist, open space and recreational uses due to its riverside location.

The following uses are recommended to be allowed in this area:

- Beverage and Bottling Facility, Winery, Brewery, or Distillery (other than retail small-scale winery, brewery or distillery)
- Retail Small-Scale Winery, Brewery or Distillery (with on-site sales and <5,000 square feet of production space)
- Restaurants, bars, coffee shops, bakeries and butcher shops (with on-site sales)
- Small-Scale Manufacturing (<5,000 square feet of manufacturing space)
- Parks



7

Do you have any questions or comments on the recommended list of uses above?

8

Which of the following additional uses should be allowed in Commercial / Mixed Use Area D?

	Allow	Do Not Allow	It Depends/Unsure
Churches & community buildings	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Cemetery, mortuary	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
College, vocational school	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Theaters, bowling alleys, concert venues	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Art galleries & studios	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Golf course, driving range, miniature golf	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Auto repair, service, and gas stations*	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Hotels and motels	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Live/work housing	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Banks, barbers, salons, medical/dental clinics, professional offices	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Garden supply, greenhouses, lumber yards, building supplies	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Marijuana dispensary or retail facility	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
All other indoor retail	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Manufacturing and production (>5,000 sf)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Personal & mini-storage	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Trade contractor facilities	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Kennels	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Additional Comments:



Dundee Riverside Zoning Code - Virtual Public Workshop #1

Non-Residential Design Standards

The City's existing commercial design standards require features that make new buildings pedestrian-friendly (ground-floor windows, buildings close to the street, avoiding blank walls, etc.). Existing industrial design standards have more limited requirements related to materials, building entrances, landscaping and screening.

9 Working Recommendations for Non-Residential Design Standards are summarized below. Please indicate whether your support these recommendations.

	Support	Do Not Support	Need More Information
Commercial / mixed use in Area A: apply basic pedestrian-friendly design standards	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Commercial / mixed use in Area D: apply stronger design standards for very pedestrian-oriented development	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Light industrial in Area B: require pedestrian-friendly standards along key streets and along the river edge of the natural area, with more functional / industrial design allowed on the interior	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Additional Comments:



Dundee Riverside Zoning Code - Virtual Public Workshop #1

Project Mailing List

Thank you for your input! For more information, please [visit the project webpage](#), or contact Cheryl Caines, City Planner, at Cheryl.Caines@newbergoregon.gov or (503) 554-7744.

10 If you would like to receive e-mail updates on the project, please provide your email address below.